

Department of Planning Evaluation of PZ1705 RA & ZC

Regulation text amendment to create a new Heritage Mill (HM) Zoning District, and map amendment to change three properties from M-1 to HM and change several properties from M-1 to DB-5.

Prepared by the Town of Stonington Department of Planning
For the Stonington Planning and Zoning Commission

April 13, 2017



Introduction

This application is a **Zoning Regulation Amendment** and **Zoning Map Amendment** request submitted by the Stonington Planning and Zoning Commission.

Overview

If approved, this application would accomplish 3 things:

1. Create the language of a new Heritage Mill District in the Zoning Regulations. (Zoning Regulation Amendment)
2. Rezone several properties from M-1 (Manufacturing) to the new HM Zone. (Zoning Map Amendment)
3. Rezone several properties from M-1 (Manufacturing) to the neighboring DB-5 Zone. (Zoning Map Amendment)

Background

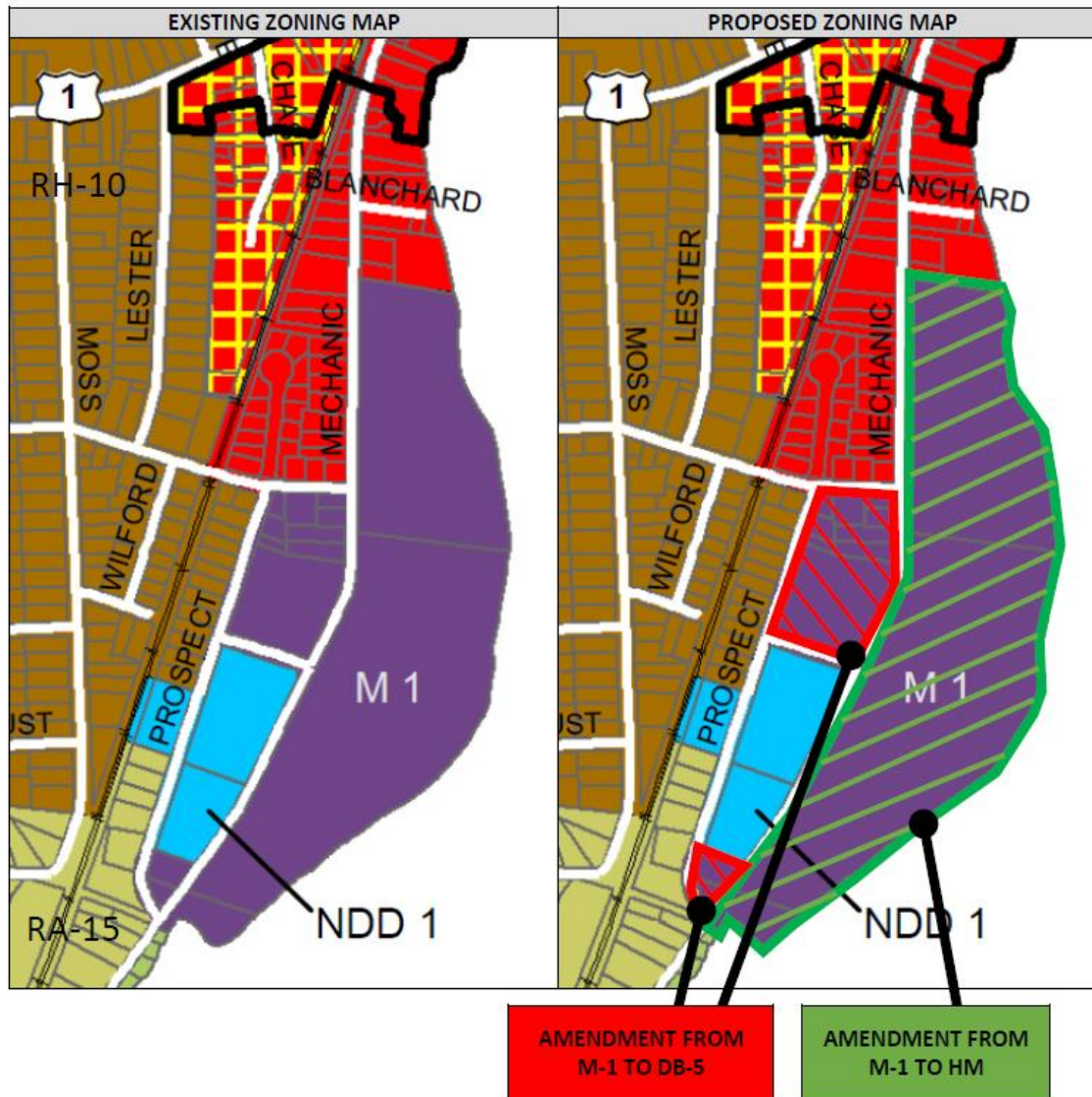
In 2004 the Town adopted the Industrial Heritage Reuse District (IHRD) which is a floating zone governed by a master plan. This zone has been used for the comprehensive master planning of several former mill sites. In 2012 the Economic Development Commission hired the planning firm, Planimetrics, to develop concepts for the modernization of the Town's several M-1 (Manufacturing) zoning districts. One of the concepts developed was the Heritage Mill District. This district is intended for mill complexes that may not be in need of a master plan for complete redevelopment. The goals of the HM were to allow additional uses, streamline the permitting process and loosen bulk requirements in order to allow property owners to reinvest in their properties. Since that time the creation of the HM District was included as a specific task in the 2015 Plan of Conservation and Development and has been designated a High Priority task by the Planning and Zoning Commission.

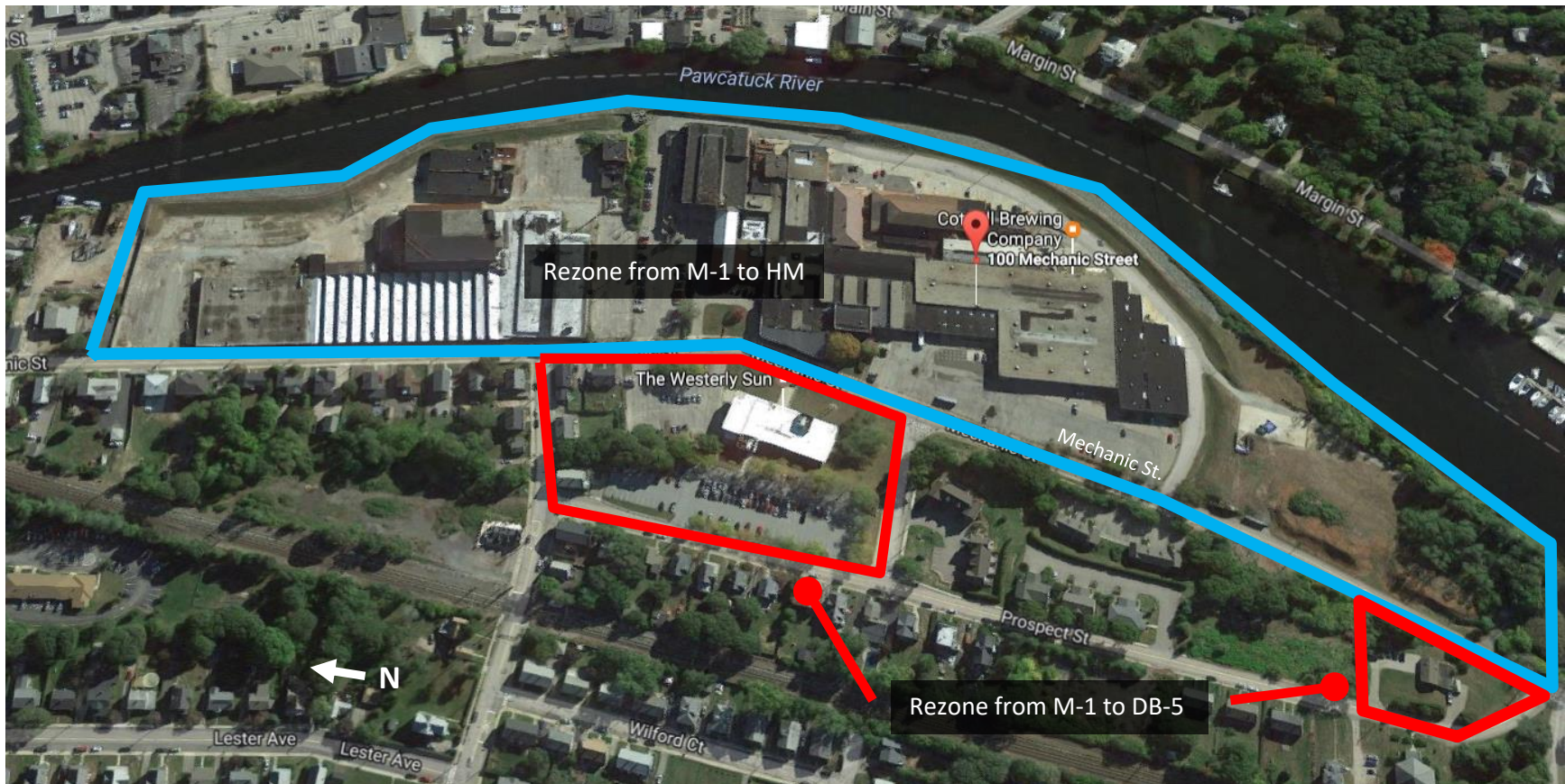
Major differences between M-1 and HM Zones:

- Additional uses allowed in HM District.
- Streamlined process in HM which allows for changes of use for several activities to be approved by staff as long as there is no new construction of building additions.
- Eliminates some undesirable M-1 uses.
- Modified bulk requirements which offer additional development opportunities.

Unlike some of other new zones approved recently, the HM is not a "floating zone." It is a conventional zoning district with set permitted uses and bulk requirements that has been developed with the goal of redeveloping historic mill areas.

Proposed Location of Rezoning to HM and DB-5





As shown in the map above, the proposed Zoning Map Amendment would accomplish two things:

1. Rezone 3 properties from M-1 (Manufacturing) to HM (Heritage Mill District). These 3 properties consist of the 2 mill complexes along Mechanic Street including a small undeveloped parcel to the south.
2. Rezone 11 properties from M-1 (Manufacturing) to DB-5 (Developed Business).

Properties to be rezoned are shown in the table below.

Parcels Proposed to be Rezoned

Parcel ID	Site Address	Owner Name	Land Use	Size (Acres)
Change from M-1 to HM				
4-7-15	82 MECHANIC ST	WHITTAKER TECHNICAL PRODUCTS INC	Manufacturing (Yardney Complex)	9
4-7-16	100 MECHANIC ST	PAWCATUCK BUSINESS PARK LLC	Manufacturing (Harris Mill Complex)	17
4-7-17	150 MECHANIC ST	STONINGTON TOWN OF	Undeveloped / pump house	0.7
Change from M-1 to DB-5				
4-17-3	2 PROSPECT ST	GIORNO ANTONIO & KAREN	Mixed use	0.1
4-18-3	66 PROSPECT ST	PROSPECT STREET PROPERTIES, LLC	Store/shop (woodworking)	0.3
4-17-2	8-10 PALMER ST	THE LANDLADY, LLC	2 family residential	0.3
4-17-1	85 MECHANIC ST	NESS ROBERT & MORRISSETTE DOUGLAS	3 family residential	0.1
4-17-9	87-89 MECHANIC ST	BESSETTE EUGENE S & NANCY M	2 family residential	0.1
4-17-6	99 MECHANIC ST	99 MECHANIC INC	Offices	2.6
4-17-7	MECHANIC ST	99 MECHANIC INC	Parking for 99 Mechanic	0.3
4-17-8	MECHANIC ST	99 MECHANIC INC	Parking for 99 Mechanic	0.3
4-18-4	MECHANIC ST	STONINGTON TOWN OF	Undeveloped land	0.1
4-17-4	PROSPECT ST	99 MECHANIC INC	Parking for 99 Mechanic	0.2
4-17-5	PROSPECT ST	99 MECHANIC INC	Parking for 99 Mechanic	0.1

Proposed Text of Heritage Mill District

KEY: Original Text Remaining Unchanged

~~Existing Text to be Deleted~~

New Text

Amend Article I (definition) as follows:

Community garden. An activity where a group of individuals grow and harvest food crops and / or non-food, ornamental crops, such as flowers, for personal or group use, consumption, or donation. Community gardens may be divided into separate plots for cultivation by one or more individuals or may be farmed collectively by members of the group and may include common areas maintained and used by group members.

Manufacturing, Advanced. Activities include computer technologies, high-performance computing, high-precision technologies, information technologies, biotechnology, medical device manufacturing, advanced robotics and other intelligent production systems, automation, control systems to monitor processes, sustainable and green technologies, new industrial platform technologies, custom manufacturing, management methodologies and scalability in manufacturing. -

Amend Article IV as follows:

4.10 HERITAGE MILL (HM)

Purpose:

This zone provides for a range of uses for existing historic mill buildings and surrounding areas. The intent is to allow some defined uses of interior space within existing buildings on a simplified basis. Certain other uses and construction of a new building or an addition to an existing building will require a special permit.

4.10.1 Principal Uses.

- .1 No permit required
 - .1 Community garden
 - .2 Docks, slips, piers
 - .3 Open space, trails and passive recreation

- .4 Public utility substations
- .2 Zoning permit required (Staff). Changes of use in an existing building; no new construction proposed:
 - .1 Offices (e.g., professional, medical, corporate headquarters)
 - .2 Offices and / or corporate headquarters.
 - .3 Assembly, fabricating, compounding, warehousing, and packing
 - .4 Research and development.
 - .5 Processing of agricultural products.
 - .6 Municipal facility.
 - .7 Public utilities.
 - .8 Health club.
 - .9 Medical clinic.
 - .10 Sales: retail / wholesale.
 - .11 Personal services.
 - .12 Storage facility (e.g., personal warehousing).
 - .13 Light manufacturing.
 - .14 Advanced manufacturing
 - .15 Financial Institutions
 - .16 Breweries / microbreweries / brewpub.
 - .17 Bowling /billiards, family entertainment center and/or similar indoor commercial recreation or entertainment operations.
 - .18 Recreational facilities: public or private.
- .3 Site Plan Approval Required (Commission)
 - .1 Changes to off-street parking configuration (no new spaces created).
 - .2 Changes to site landscaping, or signage program (e.g., increase in total square footage, number of signs, creation of a multi-tenant signage program).
- .4 Special Use Permit Required (Commission). The following uses may be permitted upon granting of a Special Permit by the Planning and Zoning Commission:
 - .1 Construction of a new building or an addition to an existing building.
 - .2 Expansion or construction of an off-street parking area of 20 parking spaces or more (cars and commercial vehicles), in accordance with Section 7.10.
 - .3 Parking, shared, in accordance with Section 7.10.2.5.

- .4 Parking, dedicated off-site (sender and receiver), in accordance with Section 7.10.2.4.
- .5 Bulk storage (exterior).
- .6 Boat sales, boat part sales, boat repair, boat fabrication, boat storage, boat livery, marina, seasonal marina structures, and similar uses.
- .7 Restaurants (excluding drive-through restaurants).
- .8 Aquaculture/Agriculture (a 200-foot setback for manure storage and stables is required from all property lines and tidal wetlands).
- .9 Day care center.
- .10 Schools, public/private.
- .11 Hospitals and clinics.
- .12 Hotels and motels.
- .13 Use of any portion of a property for residential use, housing for the elderly, congregate living facility, convalescent home.
- .14 Excavation / Filling in accordance with Section 6.6.7.
- .15 Rehabilitation of Existing Buildings in accordance with Section 6.6.14.
- .16 Height Exceptions for Roof Structures and Architectural Features in accordance with Section 6.6.20.
- .17 Special Detached Banners in accordance with Section 7.12.7.3.
- .18 Special Wall Signs in accordance with Section 7.12.7.1.4.
- .19 Other uses deemed similar (by the Commission) to the uses listed in Section 4.10.1.

4.10.2 Accessory uses

- .1 No permit required.
 - .1 Community garden
 - .2 Docks, slips, piers
 - .3 Open space, trails and passive recreation
 - .4 Public utility substations
 - .5 Storage of goods or supplies incidental to permitted uses.
- .2 Zoning permit required (Staff).
 - .1 Off-street parking of less than 20 parking spaces (cars and commercial vehicles), in accordance with Section 7.10.
 - .2 Recreation facilities, such as tennis/handball courts and pools accessory to commercial or manufacturing uses.
- .3 Site Plan approval required (Commission)
 - .1 Changes to off-street parking configuration (no new spaces created).

- .2 Changes to site landscaping, or signage program (e.g., increase in total square footage, number of signs, creation of a multi-tenant signage program).

4.10.3 Buffer Requirements.

For any use or activity authorized by Section 4.10.1.4, the Commission may establish setback and / or landscaping requirements to help buffer any adjoining existing residence or any adjoining residential zone.

Department of Planning's Proposed Revisions

Should the Commission approve this application, the Department of Planning recommends the following revisions to the Regulation Amendment. Many of these recommendations were originally proposed in the original 2012 report drafted by the firm, Planimetrics, recommending the creation of the HM Zone.

- Modify Section 1.1 to add HM to list of “industrial and special districts.”
- Delete Section 4.10.1.2.2 and renumber remainder of the section.
Reason: Redundant of the line above allowing offices and corporate headquarters.
- Add “liquor sales places for off-premises and on-premises consumption” to SUP uses in 4.10.1.4.
Reason: As written, any restaurant (other than a brewpub) could not serve alcohol.

Alternative: The Commission can also consider adding “distilleries” as a permitted or special permit use (with the addition of a definition). Along with breweries, distilleries are a growing segment of the state’s economy.
- Add “Parking Reductions in accordance with Section 7.10.2.3” to SUP uses in 4.10.1.4.
Reason: Although Shared Parking is already proposed, Parking Reductions can offer needed flexibility where sharing of parking is not an option such as single use redevelopments. See Section 7.10.2.3 for necessary criteria.
- Amend Sections 7.10.2.3 (Parking Reductions) and 7.10.2.4 (Dedicated Off-Site Parking) to add HM to the list of zones in which these activities are allowed by Special Use Permit.
- Modify Section 4.10.1.4.2 to read, “Expansion or construction of an off-street parking area of 20 new parking spaces or more (cars and commercial vehicles), in accordance with Section 7.10.”

- Add “retail-restaurant” to list of permitted uses under Section 4.10.1.2.
Reason: Retail-restaurants are small food service establishments of 8 seats or less commonly permitted in zones where retail businesses are allowed. Both restaurants and retail are already proposed in the zone.
- Modify section 4.10.1.4.13 to read “Use of any portion of a property for residential use, housing for the elderly, congregate living facility, convalescent home **and residential mixed use.**”
Reason: Although as allowed in Section 6.6.21, “residential mixed use” only allows up to 10 dwelling units per building or property, this addition could allow imaginative smaller scale redevelopment. Please note that as written, Section 6.6.14 “Rehabilitation of Existing Buildings” would also allow the mills to be redeveloped into residential units.
- Modify Section 7.10.4.4 to add HM to the list of zones requiring 1 space for every 4 restaurant seats.
Reason: The Zoning Regulations currently include 2 different parking standards for restaurants based on zoning district. If restaurants are allowed by SUP, a parking standard must be chosen. The more liberal parking standard is more suitable in the HM zone which is geared toward reuse of historic mill buildings.
- Modify language of Section 7.21.3.3 to make the HM properties eligible for the Neighborhood Development District (NDD).
Reason: As M-1 properties, these mill sites are currently eligible to utilize the NDD floating zone. Rezoning to HM should not remove this eligibility which can lead to master planning and major renovations of these properties.

Recommendations Regarding Bulk Requirements:

The application was submitted without the proposed bulk requirements that were originally developed for the new HM Zone. Therefore, the Department of Planning recommends modifying Section 5.2.1 (Commercial/Industrial Zone Bulk Requirements) to add bulk requirements to the zone. These requirements were drafted as part as the original 2012 report recommending creation of the HM Zone. One exception is the allowance for 0’ minimum setbacks, rather than “Setbacks as Existing” recommended in the report. 0’ minimum setbacks are now recommended by the Department for the following reasons:

- Listing “As Existing” for minimum setbacks locks in the current building footprints and would preclude any building additions or new construction.
- Any new construction will require a Special Use Permit and public hearing. If an application for new construction conflicts with neighboring uses, the Commission can require buffers and setbacks as appropriate per Section 4.10.3.
- 82 Mechanic is currently 0’ from the front property line and parts of other buildings are on or near property lines. This layout is common for mill buildings. Possible reconstruction of these mill buildings should have the option of building to the street (see mill reconstruction in the Borough).
- Adjacent zones, such as the DB-5 and NDD, feature minimum setbacks of 0’.

Modify Bulk Requirements in Section 5.2.1 as follows:

KEY: Existing text

Staff's proposed additions

5.2.1 Commercial / Industrial Zone Bulk Requirements.

ZONE	MINIMUM LOT AREA ¹	FRONTAGE	FRONT YARD	REAR YARD	SIDE YARD	MAXIMUM HEIGHT ²	FLOOR AREA RATIO	MAXIMUM IMPERVIOUS COVERAGE	MAXIMUM EFFECTIVE IMPERVIOUS COVERAGE ³
DB-5	5,000	50'	0'	0'	0'	BY REVIEW ⁴	0.6	N/A	N/A
CS-5	5,000	75'	10'	25% ⁴	10'	30'	0.3	N/A	N/A
LS-5	5,000	50'	10'	10% ⁴	0/5' ⁵	40'	0.5	N/A	N/A
GC-60	60,000	200'	40'	50'	20/50' ⁶	30'	0.25 ⁷	N/A	N/A
HI-60	60,000	200' ⁸	25'	25'	25'	25' ⁹	N/A	75%	60%
TC-80	80,000	200'	50'	50'	25'	40'	0.30	N/A	N/A
MC-80	80,000	150'	50'	50' ¹⁰	25'	20'	0.25	N/A	N/A
LI-130	130,000	200'	50'	50'	25'	30'	0.25	N/A	N/A
<u>HM</u>	<u>20,000</u>	<u>100'</u>	<u>0'</u>	<u>0'</u>	<u>0'</u>	<u>40'</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>
M-1	80,000	200'	50'	50'	25'	50'	0.30	N/A	N/A

NOTES FROM ABOVE:

1. Square feet.
2. See Section 1.2.2 for application of the height requirement. In addition, see Section 7.3.5 for Coastal Areas.
3. Effective impervious coverage may be achieved by connecting building roof leaders to drywells capable of capturing and infiltrating clean stormwater from a 25-year storm into the ground.
4. Percent of Depth of Lot.

5. One side may be zero (0) feet with a total side yard of five (5) feet.
6. One side may be 20 feet with a total side yard of 50 feet.
7. Floor Area Ratio bonus for hotels per ZR 6.6.10.
8. Property lines abutting Interstate 95 and Route 78 shall not be considered street lines for the purpose of determining yard setbacks and frontage. No access shall be permitted from Elm Ridge Road, Soundview Drive, Croft Court, or Cavendish Lane to any parcel located within the zone.
9. Maximum height of a structure may be increased to 50 feet if: 1) the front yard setback requirement is increased one foot for every one foot of structure which exceeds 30 feet in height; and 2) the side and rear yard setback requirements are increased two feet for every one foot of structure which exceeds 40 feet in height.
10. When the Rear Yard is waterfront, a five (5) foot Minimum Rear Yard for Yacht Clubs and Marinas is allowed.
- N/A Not Applicable

Modify Section 5.2.2 Use Chart as follows (DB-5 & M-1 Zones shown for comparison):

[Note – Although the table summarizes which uses are allowed, *any* new construction or building additions will require a Special Use Permit]

5.2.2 Commercial / Industrial Zones: Summary of Permitted, Accessory & Special Uses.

USE	ZONE		
	<u>HM</u>	M-1	DB-5
Assembly: Buildings < 10,000 sq ft	<u>P</u>	P	P
Assembly: Buildings ≥ 10,000 sq ft	<u>P</u>	S	S
Attached Housing [ZR 6.6.15]	<u>N</u>	N	N
Auto Sales/Service	<u>N</u>	N	N
Bait/Tackle Sales	<u>N</u>	N	P
Boarding/Tourist Home	<u>N</u>	N	N
Boat Fabrication	<u>S</u>	S	N
Boat Livery	<u>S</u>	N	N
Boat Part Sales	<u>S</u>	N	N
Boat Repair	<u>S</u>	N	N
Boat Sales	<u>S</u>	N	S
Bowling /Billiards	<u>P</u>	N	N
Brewery	<u>P</u>	S	N

USE	ZONE		
	<u>HM</u>	M-1	DB-5
Bulk Storage	<u>S</u>	S	N
Cemetery/Crematorium	<u>N</u>	N	S
Change of Non-Conforming Use [ZR 2.6.1.3]	<u>S</u>	S	S
Churches	<u>N</u>	N	S
Coal Yards/Oil Tanks	<u>N</u>	S	N
Commercial Recreation	<u>S</u>	N	N
Community Center/Library	<u>N</u>	N	S
Conference Center	<u>N</u>	N	N
Congregate Living Facility [ZR 6.6.2]	<u>S</u>	N	N
Convalescent Home [ZR 6.6.3]	<u>S</u>	N	S
<u>Construction of a new building or addition to an existing building</u>	<u>S</u>	-	-
Day Care Center [ZR 1.2.2]	<u>S</u>	N	N
Drive-In Window limited to financial institutions and pharmacies [ZR 6.6.5]	<u>N</u>	N	S
Excavation [ZR 6.6.7]	<u>S</u>	S	S
Fabricate/Compounding: Buildings < 10,000 SF	<u>P</u>	S	N
Fabricate/Compounding: Buildings ≥ to 10,000 SF	<u>P</u>	S	N
Family Day Care Center [ZR 1.2.2]	<u>S</u>	N	N
Family Entertainment Center [ZR 6.6.18]	<u>S</u>	N	N
Filling [ZR 6.6.7]	<u>S</u>	S	S
Financial Institutions ≤ 5,000 SF	<u>P</u>	N	P
Financial Institutions > 5,000 SF	<u>P</u>	N	S

USE	ZONE		
	<u>HM</u>	M-1	DB-5
Funeral Home/Mortuary	<u>N</u>	N	N
Gas/Auto Service	<u>N</u>	N	N
Health Club	<u>P</u>	S	S
Height Exceptions [ZR 6.6.20]	<u>S</u>	S	S
Home Occupations	<u>N</u>	A	A
Hospital	<u>S</u>	S	S
Hotels [ZR 6.6.10]	<u>S</u>	N	S
Housing for the Elderly [ZR 6.6.6]	<u>S</u>	N	N
Laundries/Laundromats	<u>N</u>	N	S
Light Manufacturing [ZR 1.2.2]	<u>P</u>	N	N
Liquor Sales – Off Premise [ZR 6.6.16]	<u>S</u>	N	S
Liquor Sales – On Premise [ZR 6.6.16]	<u>S</u>	N	S
Lumbering/Lumber Mills	<u>N</u>	P	N
Marina/Yacht Club [ZR 6.6.9]	<u>S</u>	N	N
Micro Brewery/Brewpub	<u>P</u>	N	S
Medical Clinic	<u>P</u>	S	S
Motels [ZR 6.6.10]	<u>S</u>	N	S
Municipal Facility	<u>P</u>	P	P
Office Building < 5000 SF	<u>P</u>	P	P
Office Building ≥ to 5000 SF	<u>P</u>	S	S
Office – Home Occupation [ZR 1.2.2]	<u>N</u>	N	P

USE	ZONE		
	<u>HM</u>	M-1	DB-5
Open Space Development [ZR 6.6.22]	<u>N</u>	N	N
Outdoor Vendors [ZR 6.6.11]	<u>N</u>	N	N
Parking, dedicated off-site – sender [ZR 7.10.2.4]	<u>S</u>	S	S
Parking, dedicated off-site – receiver [ZR 7.10.2.4]	<u>S</u>	S	S
Parking, off street < 20 cars [ZR 7.10]	<u>A</u>	A	A
Parking, off street ≥ 20 cars [ZR 6.6.12; ZR 7.10]	<u>S</u>	S	S
Parking, reductions [ZR 7.10.2.3]	<u>S</u>	N	S
Parking, shared [ZR 7.10.2.5]	<u>S</u>	S	S
Packing	<u>P</u>	P	P
Personal Services	<u>P</u>	N	P
Processing Agricultural Products	<u>P</u>	P	S
Public Utilities	<u>P</u>	P	P
Recreational Camping [ZR 6.6.13]	<u>N</u>	S	N
Recreational Facilities accessory to permitted commercial/ manufacturing uses	<u>A</u>	A	A
Recreational Facilities: Incidental to Residence	<u>N</u>	N	A
Recreational Facilities: Public or Private	<u>P</u>	N	S
Recreational Uses Accessory to Commercial Use	<u>A</u>	A	A
Rehabilitation of Existing Buildings [ZR 6.6.14]	<u>S</u>	S	S
Research & Development	<u>P</u>	P	N
Restaurants [ZR 6.6.16]	<u>S</u>	N	S

USE	ZONE		
	<u>HM</u>	M-1	DB-5
Restaurant, Retail [ZR 1.2.2]	<u>P</u>	N	P
Restaurant, Drive-in window [ZR 1.2.2; 6.6.5; AND 6.6.16]	<u>N</u>	N	N
Residential: Single-family	<u>N</u>	N	P
Residential: Duplex	<u>N</u>	N	P
Residential Mixed Use	<u>S</u>	N	S
Residential: Triplex	<u>N</u>	N	P
Sales: retail/wholesale Building < 5,000 SF	<u>P</u>	A	P
Sales: retail/wholesale Building ≥ 5,000 SF	<u>P</u>	A	S
Schools, Public/Private	<u>S</u>	N	S
Seasonal Marina Structures [ZR 7.18]	<u>S</u>	N	N
Special Detached Banner [ZR 7.12.7.3]	<u>S</u>	S	P
Special Detached Sign > 18 SF [ZR 7.12.7.2.4]	<u>N</u>	N	N
Special Wall Sign > 18 SF [ZR 7.12.7.1.4]	<u>S</u>	S	N
Storage (Incidental) of goods and supplies	<u>A</u>	A	A
Temporary Drive-In Theater Events	<u>N</u>	N	N
Theaters	<u>N</u>	N	N
Warehousing	<u>P</u>	P	N
Wellness Center	<u>N</u>	N	S
Wineries	<u>N</u>	S	S

A = Accessory Use; S = Special Use Permit; P = Permitted Use; N = Not Permitted

Analysis

Comparison of HM with Industrial Heritage Reuse District (IHRD)

The HM and IHRD zones share a goal of mill reuse and redevelopment. To achieve this goal both zones offer a wide range of uses and flexible bulk requirements. The main difference is that while the IHRD is a floating zone governed by a Master Plan, the HM is a traditional zoning district. The IHRD is ideal for “big ideas” such as redevelopment of an entire mill complex. The HM is intended mainly to govern the smaller scale changes of use and development proposals that are not well suited for large-scale master planning.

Relationship to the draft PV-5 Zone

The Department of Planning has drafted text for a new zoning district for Downtown Pawcatuck called the PV-5. A neighborhood meeting was held on this topic in March. As drafted, this new zone would include the commercial core of Downtown Pawcatuck and would also include all areas that are currently zoned DB-5 south of Route 1. Should the Commission decide to submit a formal Zoning Regulation and Zoning Map Amendment application for the PV-5, it is likely that the 11 properties that are proposed to be rezoned as DB-5 under this current application could be again rezoned to PV-5. For property owners, each rezone represents less restrictive regulations on their properties. The alternative is to leave these 11 properties as M-1 until the PV-5 can be considered. However, this would result in a small remaining M-1 Zone with almost no manufacturing uses.

Current uses

Below is a list of current tenants and square footage at 100 Mechanic Street provided by broker/property manager, Northeast Property Group. Current employment is estimated to be at least 100. The former Yardney property at 82 Mechanic is now fully vacant.



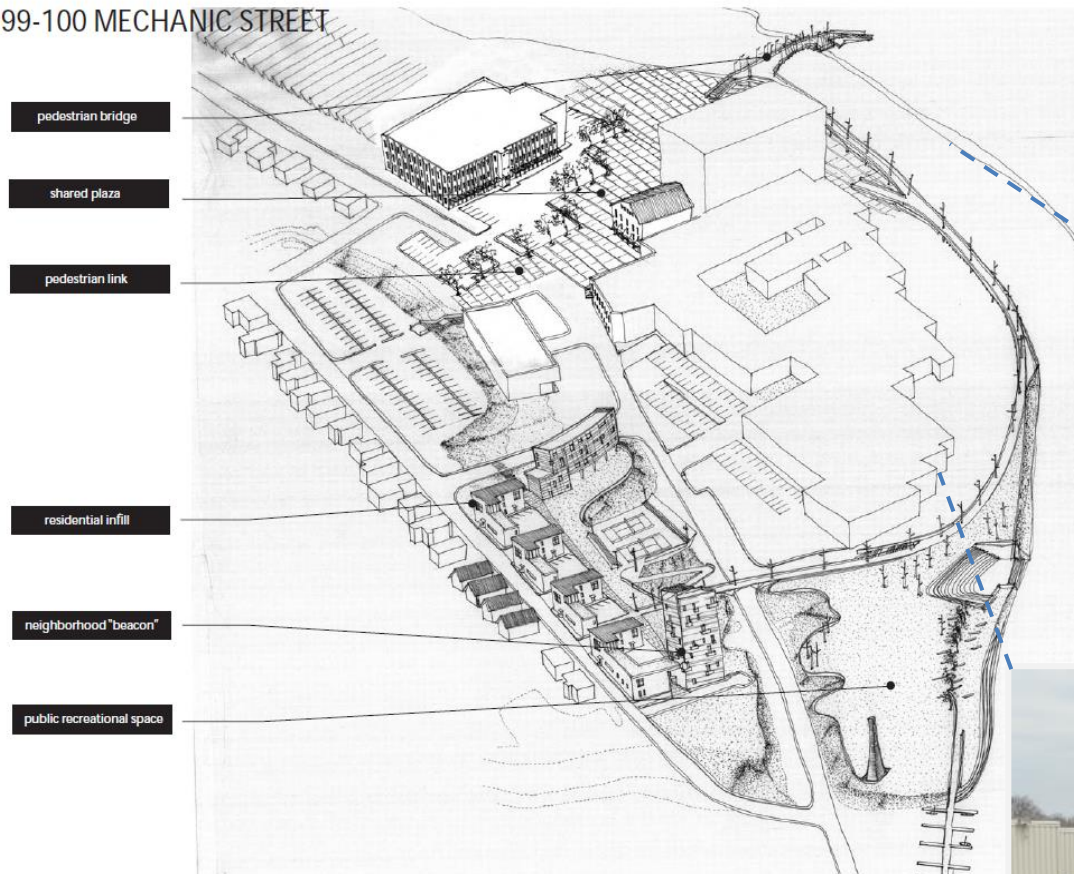
Current Tenancy at 100 Mechanic Street (Harris Mill Complex)

Tenant	Size (SF)	% of Total Building Area
Cottrell Brewing	8,300	4%
Davis Standard	7,000	3%
General Dynamics Info. Tech. - 1	61,715	28%
General Dynamics Info. Tech. -2	4,400	2%
General Dynamics Info. Tech. - 3	13,208	6%
Cable Components Group	1,800	1%
Mystic Spine & Sport (health club and medical clinic)	4,800	2%
Applied Physical Sciences (R&D)	21,000	10%
Conn RI Paper & Supply	28,796	13%
Atherton & Sons (moving and storage)	9,600	4%
Allied Industrial	4,950	2%
Visual Comfort	1,303	1%
Total Occupied Space	166,872	76%
Vacant Space Analysis	Size (SF)	% of Total Building Area
Building 16	4,600	2%
Vacant Space Building 21	45,000	20%
Building 20 A	3,990	2%
Building 20 B	1,800	1%
Offices	1,200	1%
ABP SPACE	1,600	1%
Total Projected Vacancy	53,590	24%
TOTAL	220,462	100%



2005 Pawcatuck Revitalization Strategies Plan – Conceptual Plan for 99-100 Mechanic

99-100 MECHANIC STREET



Possible Benefits of the Amendments

Benefit	Comments
Economic impacts	A major benefit of the amendment is the possible economic impacts of additional tax revenue, jobs and services. Renovation of these complexes, which dominate the area, could have a positive spill-over effect on the entire neighborhood. Appraised value per square foot of “livable” building area is \$7.88 for 82 Mechanic St. and \$12.24 for 100 Mechanic St. This compares to \$78.38 for the Packer Mill Building in Mystic and \$59.04 for the renovated Threadmill on River Rd.
Historic preservation	The amendment increases the chances for these historic properties to be preserved and renovated rather than demolished. These mill buildings require many repairs. Additional uses and redevelopment opportunities can provide the additional income needed to address these issues.
Brownfield remediation	The amendment increases the chances for these brownfield properties to be redeveloped in a manner that mitigates any contamination, particularly on the former Yardney property.
Implementation of 2005 Pawcatuck Revitalization Strategies Plan	This 2005 plan envisioned the mills as a focus of future redevelopment with connections to Downtown Pawcatuck and Westerly and a pedestrian bridge over the Pawcatuck River. A conceptual redevelopment plan included renovated mill buildings, a Riverwalk, a pedestrian bridge across the river and a public recreation space to the south of 100 Mechanic.
Effects on proposed DB-5 properties	The amendment rezones the 11 properties on the west side of Mechanic Street to the DB-5 Zone which better represents the uses on the ground. Four residential properties currently in the M-1 district which does not allow for residential uses. They will be rezoned to a district that would allow for expansions if bulk requirements are met. Rezoning of this area will likely create fewer conflicts with the residential zones west of Prospect Street and the Prospect Place residential development. The large office building at 99 Mechanic St. will not be limited to the commercial uses in the M-1 Zone. None of the 11 properties will be made non-conforming by the change.
Streamlined permitting process for HM properties	The amendment reduces the time, uncertainty and expense inherent in the Commission’s Site Plan or Special Use Permit process. Changes of use for permitted land uses have few elements to review compared to new construction. Permits must be granted if the applications conform to the regulations. The Commission will still review new construction, additions, Shared Parking requests and certain land uses by Special Use Permit.

Possible Risks Associated with the Amendments

Risk	Comments
Conflict between different HM land uses	The fact that the HM zone is limited to only 2 large properties limits this risk as the property owners will have to consider whether their different tenants will conflict with one another and effectively manage activities and uses.
Manufacturing uses being displaced in favor of other uses	Many communities set-aside areas to promote manufacturing uses despite market forces that may push towards other uses. Reasons include a desire to maintain this sector and its jobs in the community. A strictly manufacturing approach is not working well in this area and it is possible that additional jobs and economic activity could result from non-manufacturing uses. Property owners will have to consider which uses will be most productive.
Possibility of permissive HM bulk requirements conflicting with the neighborhood	More stringent bulk requirements have the risk of limiting the redevelopment potential of these properties. Historic mill complexes are large buildings with high FAR and little to no building setbacks. Surrounding DB-5 and NDD zones also have 0’ minimum setbacks. Large mill properties and brownfields often need all the help they can get to become economically productive.
Parking issues	Revitalized mill sites could potentially require parking in excess of what exists on-site. See commentary below.

P Commentary on Parking Issues

One possible risk with the potential reuse and/or redevelopment of these mill complexes is the impact on parking demand. The Commission is advised against putting too much importance in potential parking impacts. Parking has to be weighed against other factors including economic activity and historic preservation. In general, a parking issue would be a “good problem” if it is a symptom of successful mill redevelopment. The alternative is to maintain the status quo of very little parking demand due to little economic activity. Any proposals for new uses or redevelopments will have to show that parking requirements can be met, even if only staff-level approval if required.

An estimate of future parking demand and supply at the mill complexes is made difficult by several factors:

- It is unknown which combination of uses will occupy the buildings and how many employees or visitors they may have.
- The number of existing parking spaces, especially for 82 Mechanic Street, is unknown and cannot easily be estimated.
- It is likely, especially at 82 Mechanic St., that the total building square footage will be reduced as certain areas are in very poor condition.
- 100 Mechanic Street includes an undeveloped 2 acre area to the south that could be used for additional parking (although the Pawcatuck Revitalization Plan recommends a public recreation area).
- Shared Parking is likely to be a mitigating factor at these sites. Depending on building uses, customers are likely to park once and frequent more than one establishment. Parking could potentially be shared with the offices at 99 Mechanic which has an excess of spaces.



Plan of Conservation and Development

The 2015 Plan of Conservation and Development (POCD) serves as a guide to updating the Town's land use regulations. State Statutes require the Commission consider the POCD in making a decision to amend its Zoning Regulations. The POCD includes the following recommended policies and tasks that may guide the Commission's decision. This proposal directly addresses Task 10.2.10 which calls for creation of a Heritage Mill Zone for historic mill sites. This task was assigned High priority by PZC.

Chapter 5. Natural Resources		
5.1 Protect Water Quality and Quantity		
Policies	Leader	Priority per Task Leader
5.1.5 Encourage re-use and redevelopment of "brownfield" sites in order to implement remediation of contamination.	PZC	N/A
Chapter 7. Scenic and Historic Resources		
7.2 Encourage Protection of Historic Resources		
Policies	Leader	Priority per Task Leader
7.2.5 Promote adaptive re-use of the Town's mill buildings and other underutilized historic commercial buildings through regulatory incentives.	PZC	N/A
Chapter 8. Villages		
8.1 Strengthen and Enhance the Village Centers		
Policies	Leader	Priority per Task Leader
8.1.1 Seek to attract a mix of residential, retail and service uses to address everyday village need and tourists.	PZC	N/A
8.3 Address Village Business Needs		
Policies	Leader	Priority per Task Leader
8.3.2 Encourage investment in commercial properties.	EDC	N/A
Chapter 10. Commercial and Industrial Development		
10.2 Guide Business Development		
Policies	Leader	Priority per Task Leader

10.2.1	Encourage re-use of the mills and other underutilized commercial and industrial sites.	EDC	N/A
10.2.2	Guide development to Exit 92 and the Village of Pawcatuck.	EDC	N/A
Initial Tasks		Leader	Priority per Task Leader
10.2.5	Conduct a comprehensive rewrite of zoning regulations to revisit, update and modernize commercial zoning and streamline the planning process. (Also see 9.3.4)	DOP	High
10.2.9	Review text of the current zoning regulations to modernize language, objectives, uses and purpose of commercial zones, specifically the M-1 and TC-80 zones.	PZC	High
10.2.10	Create a Heritage Mill District (HM) zone for historic mill sites.	PZC	High

Comprehensive Plan

In addition to the POCD, the Commission must also determine conformance with the “Comprehensive Plan” as per the Town’s Zoning Regulations and State Statutes. The Comprehensive Plan is not an distinct document but is a legal construct consisting of the combination of the Town’s zoning map and zoning regulations – essentially the Town’s general pattern of development as espoused through its development policies. This proposal appears to conform to the Town’s Comprehensive Plan in that one of the Town’s manufacturing areas is remaining in a manufacturing zone. The properties being rezoned to DB-5 will be under a zoning district that better represents the built environment.

Response Summary

This application was sent to the following offices for comment:

CTDEEP OFFICE OF LONG ISLAND SOUND PROGRAMS – 3/28/17 Comments:

“Thank you for referring these zoning text amendments and zoning map amendments received March 20, 2017 to us for review and comment.

Zoning text amendments

We enthusiastically support the inclusion of marine activities on waterfront lots which expand the economy and allow greater access to water-related activities including recreation. The Commission may wish to add a parenthetical note to Section 4.1 0. 1 .2 which indicates that state permits are required for docks, slips and piers.

Zoning map amendments

Some of the sites proposed for a zoning map amendment are waterfront and other sites have no access to water. We respectfully ask the Commission to amend the regulations to alert waterfront site owners who may propose a non-water-dependent activity on their parcels that the Connecticut Coastal Management Act requires property owners to minimize the adverse impacts of locating a non-water-dependent use on a waterfront lot by including a water-dependent use such as public access to their site plans.

Conclusion

We hope that these comments are helpful to the Commission. Pursuant to CGS Section 22a-110, we request that these comments be read into the record at a Public Hearing for this application. If we can be of further assistance to you in this or any other coastal management or Long Island Sound-related matter, please feel free to contact me at 860-424-31 38.
contact me at 860-424-31 38.”

SOUTHEASTERN CT COUNCIL OF GOVERNMENTS – 3/17/17 Comments:

“I am writing in response to proposed amendments to the Zoning Regulations for the Town of Stonington and the Zoning Map Atlas – Town of Stonington, as referenced in your correspondence dated March 13, 2017. The proposed amendments were referred to this agency under the provisions of Section 8-3b of the Connecticut General Statutes and were received on March 17th.

The proposed regulation amendments concerned the creation of a Heritage Mill (HM) Zoning District. The proposed zoning map amendments changed zoning designation of three properties from M-1 Industrial to the HM zone, and multiple other properties from M-1 Industrial to the DB-5 Commercial zone. Based on a review of the material submitted, SCCOG staff concluded that the proposed regulation and map amendments would not have an adverse inter-municipal impact and would not adversely affect the health and ecology of Long Island Sound.”

ECONOMIC DEVELOPMENT COMMISSION – 4/13/17 Comments:

“EDC, at its meeting on March 15, 2017, voted unanimously to support the proposed Regulation Text and Map amendments contained in application PZC 1705RA and ZC Stonington PZC; Heritage Mill (HM).

Key issues for EDC’s support were: (1) The proposed language follows specific guidance in the POCD recommending and HM zone for Mechanic Street. (2) The POCD recommends modernizing and updating our land use regulations and (3) The proposed language will create significant new economic upside opportunities by broadening the types of tenants that can lease space in the properties. This will lead to an increase in occupancy. Increased occupancy provides a reason for additional investments by property owners resulting in new business and customer activity.

In summary, superior fiscal results, compared to the status quo, will likely occur due to the adoption of the proposed Regulation Text and Map amendments.

Thank you for addressing a very important economic issue in Pawcatuck.”

TOWN OF GROTON – 3/28/17 Comments:

“At its meeting on March 28, 2017, the Town of Groton Planning Commission received the above referral and had no comment.”

TOWN SANITARIAN – 3/15/17 Comments:

“No comments at this time.”

ZONING OFFICIAL – 3/17/17 Comments:

“No comments at this time.”

CONSERVATION COMMISSION, BUILDING OFFICIAL, POLICE COMMISSION, OTHER NEIGHBORING TOWNS – No comments received.

Required Actions

Decisions required by the Commission including the following:

- A decision on the application's conformance with the 2015 Plan of Conservation and Development and Comprehensive Plan per CGS 8-3(b). Consideration of the POCD is required as is a record of the Commission's findings, although an affirmative decision is not required.
- A decision on the Regulation Amendment creating the text of the new zone
- A decision on the Zoning Map Amendment changing the zoning designation of several properties from M-1 to HM or DB-5 as proposed in the application.

Section 8-3(c) states that when approving a change to the zoning regulations or map the Commission shall "upon its records the reason why such change is made."

Draft Resolution

Should the Commission decide to approve this application, the following resolution language is recommended. Should the Commission decide to deny the application, staff recommends preparing a resolution indicating the Commission's reasons for denial. Draft resolutions are not considered staff's endorsement or recommendation of an application.

PZ1705RA & ZC Stonington PZC – Regulation text amendment to create a new Heritage Mill (HM) Zoning District, and map amendment to change three properties from M-1 to HM (82 Mechanic St. - Map 4 Block 7 Lot 15; 100 Mechanic St. – Map 4 Block 7 Lot 16; & 150 Mechanic St. – Map 4 Block 7 Lot 17), and change several properties from M-1 to DB-5 (2 Prospect St. – Map 4 Block 17 Lot 3; 66 Prospect St. – Map 4 Block 18 Lot 3A; 8-10 Palmer St. – Map 4 Block 17 Lot 2; 85 Mechanic St. – Map 4 Block 17 Lot 1; 87-89 Mechanic St. – Map 4 Block 17 Lot 9; 99 Mechanic St. – Map 4 Block 17 Lot 6; Mechanic St. – Map 4 Block 17 Lot 7; Mechanic St. – Map 4 Block 17 Lot 8; Mechanic St. – Map 4 Block 18 Lot 4; Prospect St. – Map 4 Block 17 Lot 4; Prospect St. – Map 4 Block 17 Lot 5), Pawcatuck.

WHEREAS, in accordance with Zoning Regulation Section 8.8.2, the application is found by the Commission to satisfy the Impact Statement Requirements for Zoning Map Amendments;

WHEREAS, in accordance with Zoning Regulation Section 8.8.3, the application is found by the Commission to satisfy the requirements for Zoning Regulation Amendments;

WHEREAS, this proposal has been found by the Commission to be consistent with General Zoning Purposes set forth in Section 1.0.1 of the Zoning Regulations;

WHEREAS, this proposal has been found by the Commission to be consistent with the Town's Plan of Conservation and Development, adopted May 7, 2015 as well as the Town's Comprehensive Plan;

RESOLVED, that the Planning and Zoning Commission of the Town of Stonington has reviewed PZ1705RA&ZC Stonington PZC and has determined that this application is in compliance with the Zoning Regulations of the Town of Stonington and is therefore approved:

The effective date of the decision is _____.

ADOPTED BY THE Planning and Zoning Commission of the Town of Stonington, Connecticut, this _____th day of _____ 2017.

Application Timeframe – 4/18/16

Zoning Map or Regulation Amendments require a Public Hearing in accordance with CT General Statutes Section 8-3(c) https://www.cga.ct.gov/current/pub/chap_124.htm#sec_8-3. The normal public hearing timeframe is established in CGS. Section 8-7d. https://www.cga.ct.gov/current/pub/chap_124.htm#sec_8-7d. However, the typical time constraints involved with public hearings do not apply to the Commission's own applications. There is no legally mandated time constraint for this application.

Official Date of Receipt for this application is 2/21/17.

Today is public hearing **Day 1 of 35**.

If approved tonight, the effective date of the new regulation will be 5/8/17.